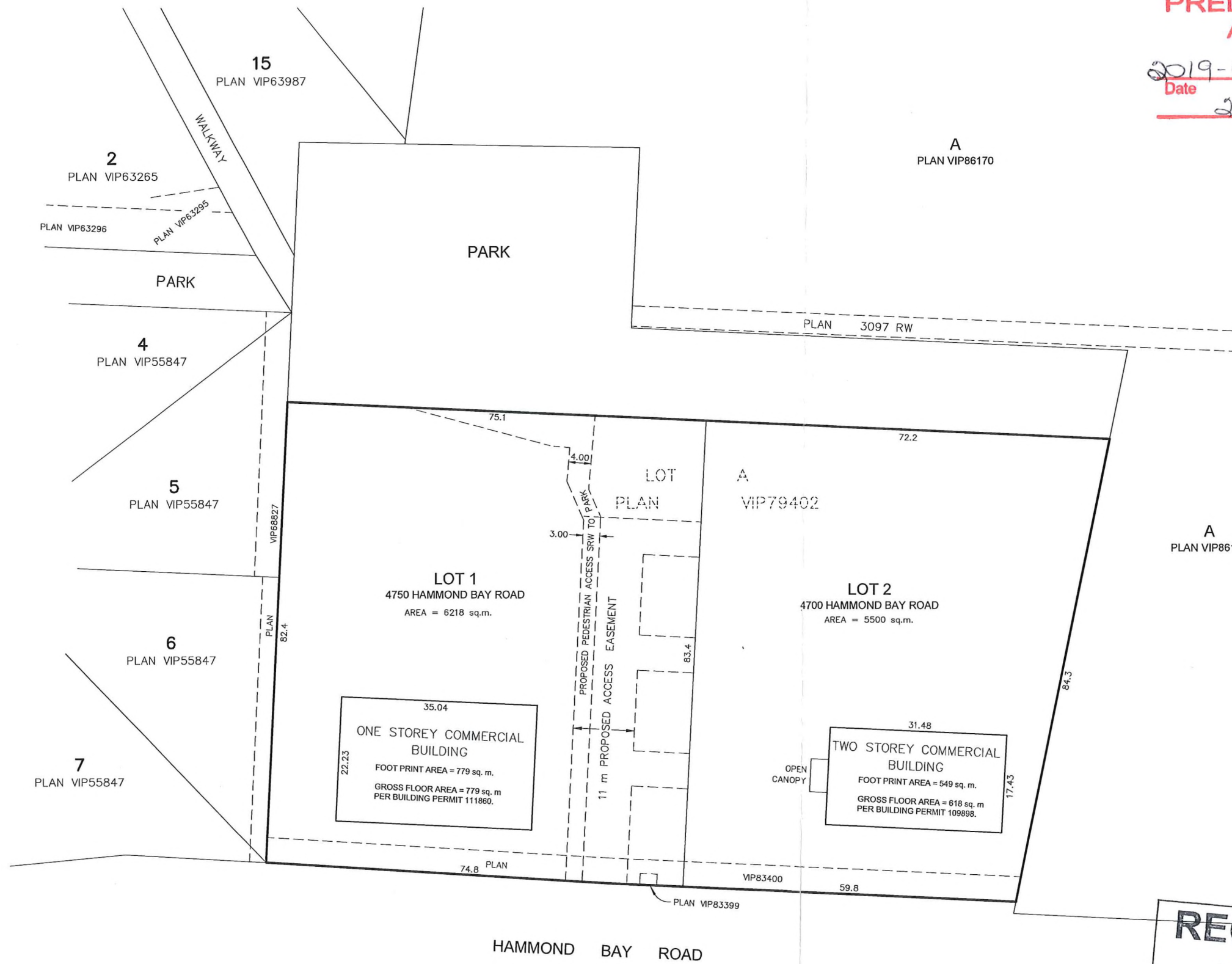
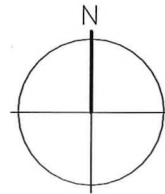


SCHEDULE "A"

RENEWAL CITY OF NANAIMO PRELIMINARY LAYOUT ACCEPTANCE

Date 2019-MAR-11 Approved By [Signature]
2020-MAR-12 Expiry Date



SITE STATISTICS

SITE TO BE SUBDIVIDED INTO TWO FEE SIMPLE CC1 LOTS WITH A COMMON ACCESS DRIVEWAY.

EXISTING ZONE: COMMERCIAL CENTRE 1 (CC1)
 PROPOSED DEVELOPMENT: FEE SIMPLE SUBDIVISION.
 TOTAL SITE AREA: 1.17 ha

PROPOSED LOT 1 - 4750 HAMMOND BAY ROAD
 LOT COVERAGE ALLOWED: 60%
 APPROX. LOT COVERAGE PROPOSED: 13%
 FLOOR AREA RATIO ALLOWED: 0.45
 APPROX. FLOOR AREA RATIO PROPOSED: 0.13
 OFF STREET PARKING SPACES REQUIRED: 46 (1 SPACE PER 3 SEATS OF A 55 SEAT RESTAURANT AND 1 SPACE PER 20 sq. m OF 555 sq. m OF COMBINED CONVENIENCE STORE AND LICENSEE RETAIL STORE GFA)
 OFF STREET PARKING SPACES PROVIDED: 66

PROPOSED LOT 2 - 4700 HAMMOND BAY ROAD
 LOT COVERAGE ALLOWED: 60%
 APPROX. LOT COVERAGE PROPOSED: 10%
 FLOOR AREA RATIO ALLOWED: 0.45
 APPROX. FLOOR AREA RATIO PROPOSED: 0.11
 OFF STREET PARKING SPACES REQUIRED: 58 (1 SPACE PER 3 SEATS OF A 175 SEAT NEIGHBOURHOOD PUBLIC HOUSE)
 OFF STREET PARKING SPACES PROVIDED: 69

NOTES:

DISTANCES ARE IN METRES.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND / OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE SUBJECT PARCEL(S).

THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE THE SUBJECT PARCEL(S).

AERIAL IMAGE IS CITY OF NANAIMO 2009 ORTHOPHOTOGRAPHY.

LOT ALIGNMENT IS PRELIMINARY AND DERIVED FROM REGISTERED PLANS.

GROSS FLOOR AREAS OF BUILDINGS ARE DERIVED FROM BUILDING PERMIT RECORDS.

THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES & PERMITS:
 - STATUTORY RIGHT OF WAYS FB27993, FB27994, FB71524, FB71526, FB403174;
 - COVENANT CA25256170;
 THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

NO.	DATE	REVISION
00	SEPT. 26, 2014	FIRST ISSUE.
01	AUGUST 2, 2017	UPDATED CHARGE LIST TO REPLACE COVENANT EX21926 WITH COVENANT CA25256170.

PROJECT: 4700 & 4750 HAMMOND BAY ROAD;
 LOT A, DISTRICT LOT 51,
 WELLINGTON DISTRICT, PLAN VIP79402.

CLIENT: MID ISLAND CONSUMER SERVICES
 CO-OPERATIVE, INC. NO. 0000759

DRAWING: PROPOSED SUBDIVISION PLAN

DATE: SEPT. 26/14

SCALE: 1:400

DRAWN: CH

FILE: 0234-3

SHEET: OF 1

SUBD1094

WILLIAMSON & ASSOCIATES
 PROFESSIONAL SURVEYORS

3088 BARONS ROAD NANAIMO B.C. V9T 4B5
 PHONE: (250) 756-7723 FACSIMILE (250) 756-7724
 EMAIL: WAPS@TELUS.NET

RECEIVED
 MAR 26 2019
 CITY OF NANAIMO
 SUBDIVISION

